

17 WOLLONDILLY AVE, GOULBURN, NSW 2580
PROPOSED TWO ATTACHED DUAL OCCUPANCY

ARCHITECTURAL DRAWINGS

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GENERAL NOTES:

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- check all dimensions and levels on site before commencement of work or ordering materials.
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**PROPOSED TWO ATTACHED DUAL
OCCUPANCY**

GOULBURN MULWAREE COUNCIL

17 WOLLONDILLY AVE, GOULBURN, NSW 2580

DA SUBMISSION

DESIGNED BY: NM

COVER PAGE

PROJECT NUMBER	-----	DA.01
DATE	01/07/2025	
CHECKED BY	AE	ISSUE: A
DRAWN BY	NM	SCALE



THE BUILDING WORKS INCLUDED IN THE SUBJECT WITH COMPLY WITH THE RELEVANT DEEMED- TO SATISFY PROVISIONS OF THE BUILDING CODE OF AUSTRALIA NCC 2022 AND RELEVANT STANDARDS OF CONSTRUCTION. PARTICULAR REFERENCE IS MADE TO THE FOLLOWING BCA PROVISIONS AND AUSTRALIAN STANDARDS, WHICH FORM PART OF THE APPLICATION AND WILL BE COMPLIED WITH:-

PART H1 - STRUCTURE

1.1	H1D3 SITE PREPARATION MUST COMPLY WITH - 1. EARTHWORKS - PART 3.2 OF THE ABCB HOUSING PROVISIONS 2. RETAINING STRUCTURE - AS4678 3. TERMITE MANAGEMENT - PART 3.4 OF THE ABCB HOUSING PROVISIONS	
1.2	H1D4 FOOTINGS AND SLABS MUST COMPLY WITH - 1. AS2870 OR AS3600 2. SECTION 4 OF THE ABCB HOUSING PROVISIONS - SEE H1D4 (2)	
1.3	H1D5 MASONRY MUST COMPLY WITH, FOR MASONRY VENEER - 1. AS3700; OR 2. AS4773.1 AND AS4773.2; OR 3. PART 5.2 OF THE ABCB HOUSING PROVISIONS - SUBJECT TO CONDITIONS. MUST COMPLY WITH, FOR CAVITY BRICK UNREINFORCED MASONRY - 1. AS3700; OR 2. AS4773.1 AND AS4773.2; OR 3. PART 5.3 OF THE ABCB HOUSING PROVISIONS - SUBJECT TO CONDITIONS MUST COMPLY WITH, FOR SINGLE LEAF UNREINFORCED MASONRY - 1. AS3700; OR 2. AS4773.1 AND AS4773.2; OR 3. PART 5.4 OF THE ABCB HOUSING PROVISIONS - SUBJECT TO CONDITIONS MUST COMPLY WITH, FOR REINFORCED MASONRY - 1. AS3700; OR 2. AS4773.1 AND AS4773.2; MUST COMPLY WITH, FOR AN ISOLATED MASONRY PIER SYSTEM - 1. AS3700; OR 2. AS4773.1 AND AS4773.2; OR 3. PART 5.5 OF THE ABCB HOUSING PROVISIONS - SUBJECT TO CONDITIONS MUST COMPLY WITH, FOR AN ISOLATED MASONRY ACCESSORIES - 1. AS3700; OR 2. AS4773.1 AND AS4773.2; OR 3. PART 5.6 OF THE ABCB HOUSING PROVISIONS - SUBJECT TO CONDITIONS	
1.4	H1D6 FRAMING MUST COMPLY WITH, FOR TIMBER FRAMES - 1. DESIGN OF TIMBER STRUCTURES: AS 1720.1. 2. DESIGN OF NAIL PLATED TIMBER ROOF TRUSSES: AS 1720.5. 3. RESIDENTIAL TIMBER-FRAMED CONSTRUCTION – NON-CYCLONIC AREAS: AS 1684.2 OR AS 1684.4. 4. RESIDENTIAL TIMBER-FRAMED CONSTRUCTION – CYCLONIC AREAS: AS 1684.3. 5. INSTALLATION OF PARTICLEBOARD FLOORING: AS 1860.2. MUST COMPLY WITH, FOR STEEL FRAMES - RESIDENTIAL AND LOW-RISE STEEL FRAMING: 1. DESIGN: NASH STANDARD 'RESIDENTIAL AND LOW-RISE STEEL FRAMING' PART 1. 2. DESIGN SOLUTIONS: NASH STANDARD 'RESIDENTIAL AND LOW-RISE STEEL FRAMING' PART 1. 3. STEEL STRUCTURES: AS 4100. 4. COLD-FORMED STEEL STRUCTURES: AS/NZS 4600.	
1.5	H1D7 ROOF AND WALL CLADDING MUST COMPLY WITH, FOR SHEET ROOFING - 1. METAL ROOFING- AS1562.1; AND IN WIND REGIONS C AND D IN ACCORDANCE WITH FIGURE 2.2.3 IN SECTION 2 OF THE ABCB HOUSING PROVISIONS 2. PLASTIC SHEET ROOFING: AS 1562.3.(B) 3. METAL SHEET ROOFING: PART 7.2 OF THE ABCB HOUSING PROVISIONS MUST COMPLY WITH, FOR ROOF CLADDING - 1. TERRACOTTA, FIBRE-CEMENT AND TIMBER SLATES AND SHINGLES: AS 4597. 2. FOR ROOF TILES - AS 2050; OR PART 7.3 OF THE ABCB HOUSING PROVISIONS SUBJECT TO CONDITIONS MUST COMPLY WITH, FOR WALL CLADDING - 1. TIMBER AND COMPOSITE WALL CLADDING AS5146 OR PART 7.5 OF THE ABCB HOUSING PROVISIONS 2. METAL WALL CLADDING AS1562.1	
1.6	H1D8 GLAZING MUST COMPLY WITH - 1. DESIGNED, CONSTRUCTED AND INSTALLED IN ACCORDANCE WITH AS2047 AND PART 8.2 OF THE ABCB HOUSING PROVISIONS FOR: • SLIDING AND SWINGING GLAZED DOORS WITH A FRAME, INCLUDING FRENCH AND BI-FOLD DOORS WITH A FRAME • ADJUSTABLE LOUVRES • WINDOW WALLS WITH ONE-PIECE FRAMING 2. AS1288 FOR ANYTHING NOT COVERED IN THE ABOVE POINT	
1.7	H1D9 EARTHQUAKE AREAS MUST BE CONSTRUCTED IN ACCORDANCE WITH SECTION 2 OF THE ABCB HOUSING PROVISIONS	
1.8	H1D10 FLOOD HAZARD AREAS MUST BE CONSTRUCTED IN ACCORDANCE WITH THE ABCB STANDARD FOR CONSTRUCTION OF BUILDINGS IN FLOOD HAZARD AREAS	
1.9	H1D11 ATTACHMENT OF FRAMED DECKS AND BALCONIES TO EXTERNAL WALLS OF BUILDINGS USING A WALING PLATE	
1.10	MUST COMPLY WITH PART 12.3 OF THE ABCB HOUSING PROVISIONS SUBJECT TO CONDITIONS H1D12 PILED FOOTINGS MUST COMPLY WITH AS2159	

PART H2 - DAMP AND WEATHERPROOFING

2.1	H2D2 DRAINAGE MUST COMPLY WITH - 1. AS3500.3 OR 2. PART 3.3 OF THE ABCB HOUSING PROVISIONS SUBJECT TO CONDITIONS	
2.2	H2D3 FOOTINGS AND SLABS AS PER H1D4	
2.3	H2D4 MASONRY MUST COMPLY WITH, FOR WEATHERPROOFING OF MASONRY - 1. AS3700 2. AS4773.1 AND AS 4773.2 3. PART 5.7 OF THE ABCB HOUSING PROVISIONS PROVIDED MASONRY WALLS ARE CONSTRUCTED IN ACCORDANCE WITH H1D5 AND(C)THE REQUIREMENTS OF PART 5.7 H2D5 SUBFLOOR VENTILATION MUST COMPLY WITH PART 6.2 OF THE ABCB HOUSING PROVISIONS. NOTE - PART 6.2 APPLIES TO THE SUBFLOOR SPACE OF ALL SUSPENDED FLOORS OF A BUILDING OR DECK, INCLUDING BUT NOT LIMITED TO, TIMBER AND STEEL-FRAMED SUBFLOORS AND SUSPENDED CONCRETE SLABS.	
2.4	H2D6 ROOF AND WALL CLADDING MUST COMPLY WITH, FOR GUTTERS AND DOWNPIPES - 1. AS3500.3 2. PART 7.4 OF THE ABCB HOUSING PROVISION - MAY ONLY BE USED PROVIDED THE ROOF DRAINAGE SYSTEM IS CONNECTED TO A STORMWATER DRAINAGE SYSTEM THAT COMPLIES WITH H2D2; AND EXCLUDES BOX GUTTERS. NOTE - THE REQUIREMENTS DO NOT APPLY TO THE REMOVAL OF SURFACE WATER FROM A STORM HAVING AN ANNUAL EXCEEDANCE PROBABILITY OF 1% FOR A CLASS 10 BUILDING WHERE IN THE PARTICULAR CASE THERE IS NO NECESSITY FOR COMPLIANCE.	
2.5	H2D7 GLAZING AS PER H1D8	
2.6	H2D8 EXTERNAL WATERPROOFING MUST COMPLY WITH - 1. MEMBRANES USED IN THE EXTERNAL WATERPROOFING SYSTEM COMPLY WITH AS 4654.1; AND 2. THE DESIGN AND INSTALLATION OF THE EXTERNAL WATERPROOFING SYSTEM IS IN ACCORDANCE WITH AS 4654.2. THE ABOVE REQUIREMENTS APPLY TO— 1. ROOFING SYSTEMS OTHER THAN THOSE COMPLYING WITH H1D7(2) AND (3); AND 2. TERRACES, BALCONIES AND THE LIKE OTHER THAN— • A CONCRETE SLAB THAT HAS A MINIMUM STEP-DOWN OF 50 MM BELOW THE INTERNAL FLOOR LEVEL; OR • A SUSPENDED CONCRETE SLAB— • WHERE THE SUBFLOOR SPACE IS NOT USED FOR HABITABLE OR NON-HABITABLE PURPOSES; AND • THAT HAS A MINIMUM STEP-DOWN OF 50 MM BELOW THE INTERNAL FLOOR LEVEL; OR • SPACED DECKING IN CONJUNCTION WITH FRAMING MEMBERS THAT ARE SUITABLE FOR EXTERNAL USE.	
3	PART H3 - FIRE SAFETY	
3.1	H3D2 FIRE HAZARD PROPERTIES AND NON-COMBUSTIBLE BUILDING ELEMENTS MUST COMPLY WITH, FOR WHERE NON-COMBUSTIBLE BUILDING ELEMENTS ARE REQUIRED - 1. PLASTERBOARD 2. PERFORATED GYPSUM LATH WITH A NORMAL PAPER FINISH. 3. FIBROUS-PLASTER SHEET. 4. FIBRE-REINFORCED CEMENT SHEETING. 5. PRE-FINISHED METAL SHEETING HAVING A COMBUSTIBLE SURFACE FINISH NOT EXCEEDING 1 MM THICK AND WHERE THE SPREAD-(E)OF-FLAME INDEX OF THE PRODUCT IS NOT MORE THAN 0. 6. SARKING-TYPE MATERIALS THAT DO NOT EXCEED 1 MM IN THICKNESS AND HAVE A FLAMMABILITY INDEX NOT GREATER THAN 5. 7. BONDED LAMINATED MATERIALS WHERE— • EACH LAMINA, INCLUDING ANY CORE, IS NON-COMBUSTIBLE; AND • EACH ADHESIVE LAYER DOES NOT EXCEED 1 MM IN THICKNESS AND THE TOTAL THICKNESS OF THE ADHESIVE LAYERS DOES • NOT EXCEED 2 MM; AND • THE SPREAD-OF-FLAME INDEX AND THE SMOKE-DEVELOPED INDEX OF THE BONDED LAMINATED MATERIAL AS A WHOLE • DO NOT EXCEED 0 AND 3 RESPECTIVELY.	
3.2	H3D3 FIRE SEPARATION OF EXTERNAL WALLS MUST COMPLY WITH PART 9.2 OF THE ABCB HOUSING PROVISIONS	
3.3	H3D4 FIRE PROTECTION OF SEPARATING WALLS AND FLOORS MUST COMPLY WITH PART 9.3 OF THE ABCB HOUSING PROVISIONS	
3.4	H3D5 FIRE SEPARATION OF GARAGE-TOP-DWELLINGS MUST COMPLY WITH PART 9.4 OF THE ABCB HOUSING PROVISIONS	
3.5	H3D6 SMOKE ALARMS AND EVACUATION LIGHTING MUST COMPLY WITH PART 9.5 OF THE ABCB HOUSING PROVISIONS FOR A CLASS 1 BUILDING. NOTE - A CLASS 1 BUILDING INCLUDES A CLASS 10A PRIVATE GARAGE LOCATED ABOVE OR BELOW THE CLASS 1 BUILDING.	

PART H4 - HEALTH AND AMENITY

4.1	H4D2 WET AREAS MUST COMPLY WITH - 1. AS3740 OR 2. PART 10.2 OF THE ABCB HOUSING PROVISIONS	
4.2	H4D3 MATERIALS AND INSTALLATION OF WET AREA COMPONENTS AND SYSTEMS MUST COMPLY WITH - 1. BUILDING ELEMENTS IN WET AREAS ARE WATER RESISTANT OR WATERPROOF IN ACCORDANCE WITH CLAUSES 10.2.1 TO 10.2.6 OF(A)THE ABCB HOUSING PROVISIONS; AND 2. THEY COMPLY WITH EITHER - • AS 3740 AND CLAUSE 10.2.1D OF THE ABCB HOUSING PROVISIONS; OR • 10.2.7 TO 10.2.32 OF THE ABCB HOUSING PROVISIONS.	
4.3	H4D4 ROOM HEIGHTS MUST COMPLY WITH PART 10.3 OF THE ABCB HOUSING PROVISIONS	
4.4	H4D5 FACILITIES MUST COMPLY WITH PART 10.4 OF THE ABCB HOUSING PROVISIONS 4.5 H4D6 LIGHT MUST COMPLY WITH PART 10.5 OF THE ABCB HOUSING PROVISIONS 4.6 H4D7 VENTILATION MUST COMPLY WITH PART 10.6 OF THE ABCB HOUSING PROVISIONS EXCEPT - FOR AN EXHAUST FAN FROM A SANITARY COMPARTMENT, LAUNDRY, KITCHEN OR BATHROOM, PERFORMANCE REQUIREMENT H4P5 IS SATISFIED FOR A MECHANICAL VENTILATION SYSTEM IF IT IS INSTALLED IN ACCORDANCE WITH AS 1668.2.	
4.7	H4D8 SOUND INSULATION MUST COMPLY WITH PART 10.7 OF THE ABCB HOUSING PROVISIONS 4.8 H4D9 CONDENSATION MANAGEMENT MUST COMPLY WITH PART 10.8 OF THE ABCB HOUSING PROVISIONS	

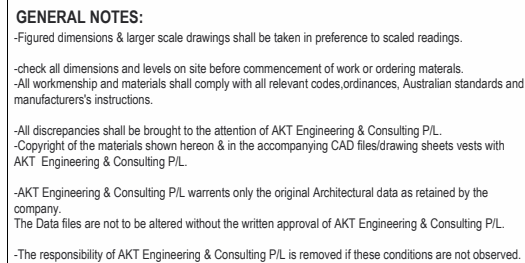
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5.1	PART H5 - SAFE MOVEMENT AND ACCESS H5D2 STAIRWAY AND RAMP CONSTRUCTION MUST COMPLY WITH PART 11.2 OF THE ABCB HOUSING PROVISIONS 5.2 H5D3 BARRIERS AND HANDRAILS MUST COMPLY WITH PART 11.3 OF THE ABCB HOUSING PROVISIONS	
6	PART H6 - ENERGY EFFICIENCY	
6.1	H6D2 APPLICATION OF PART H6 MUST COMPLY WITH PARTS 13.2, 13.4 AND 13.7 OF THE ABCB HOUSING PROVISIONS	
7	PART H7 - ANCILLARY PROVISIONS AND ADDITIONAL CONSTRUCTION REQUIREMENTS	
7.1	H7D2 SWIMMING POOLS MUST COMPLY WITH - 1. AS 1926.1 AND AS 1926.2; OR 2. IF THE SWIMMING POOL IS A SPA POOL— • THE REQUIREMENTS OF THE ABOVE; OR • CLAUSE 9 OF THE SWIMMING POOLS REGULATION 2018. NOTE - • OUT-OF-GROUND POOL WALLS AND THE WALLS OF ABOVE GROUND POOLS, INCLUDING INFLATABLE POOLS, NOT BEING CONSIDERED TO BE EFFECTIVE BARRIERS; AND • THE REFERENCE IN CLAUSE 2.3.1 OF AS 1926.1 TO A BARRIER WITHIN A PROPERTY INCLUDING A BOUNDARY BARRIER.	
7.2	H7D3 CONSTRUCTION IN ALPINE AREAS MUST COMPLY WITH PART 12.2 OF THE ABCB HOUSING PROVISIONS 7.3 H7D4 CONSTRUCTION IN BUSHFIRE PRONE AREAS MUST COMPLY WITH, FOR CLASS 1 AND 10A STRUCTURES -(A) AS 3959 EXCEPT — (I)AS AMENDED BY PLANNING FOR BUSH FIRE PROTECTION; AND (II)FOR SECTION 9 CONSTRUCTION REQUIREMENTS FOR BUSHFIRE ATTACK LEVEL FZ (BAL-FZ); OR (B) NASH STANDARD – STEEL FRAMED CONSTRUCTION IN BUSHFIRE AREAS EXCEPT — (I)AS AMENDED BY PLANNING FOR BUSH FIRE PROTECTION; AND (II)FOR BUILDINGS SUBJECT TO BUSHFIRE ATTACK LEVEL FZ (BAL-FZ); OR (C) (A) OR (B) AS MODIFIED BY DEVELOPMENT CONSENT FOLLOWING CONSULTATION WITH THE NSW RURAL FIRE SERVICE UNDER SECTION 4.14 OF THE ENVIRONMENTAL PLANNING AND ASSESSMENT ACT 1979 IF REQUIRED; OR (D) (A) OR (B) AS MODIFIED BY DEVELOPMENT CONSENT WITH A BUSHFIRE SAFETY AUTHORITY ISSUED UNDER SECTION 100B OF THE RURAL FIRES ACT 1997 FOR THE PURPOSES OF INTEGRATED DEVELOPMENT.	
7.4	H7D5 HEATING APPLIANCES, FIREPLACES, CHIMNEYS AND FLUES MUST COMPLY WITH - 1. FOR A DOMESTIC SOLID FUEL BURNING APPLIANCE, AS/NZS 2918; OR 2. FOR A HEATING APPLIANCE, PART 12.4 OF THE ABCB HOUSING PROVISIONS.	
8	PART H8 - LIVABLE HOUSING DESIGN	
8.1	H8D2 LIVABLE HOUSING DESIGN PART H8 DOES NOT APPLY IN NSW ALL WORKS SHALL COMPLY WITH BUT NOT LIMITED TO THE FOLLOWING AUSTRALIAN STANDARDS: •AS 1288 -GLASS IN BUILDINGS –SELECTION AND INSTALLATION. •AS 1562 -DESIGN AND INSTALLATION OF SHEET ROOF AND WALL CLADDING •AS 1684 -RESIDENTIAL TIMBER FRAMED CONSTRUCTION •AS 1926.1-2012 -POOL AND SPA CODE •AS 2047 -INSTALLATION AND SELECTION OF WINDOWS •AS 2049 -ROOF TILES & AS 2050 -FIXING OF ROOF TILES •AS 2870 -RESIDENTIAL SLABS AND FOOTINGS. •AS 2904 -DAMP PROOF COURSES AND FLASHINGS •AS 3500 -PLUMBING & DRAINAGE •AS 3600 -CONCRETE STRUCTURES •AS 3660 -PROTECTION OF BUILDINGS FROM SUBTERRANEAN TERMITES. •AS 3700 -MASONRY IN BUILDINGS. •AS 3740 -WATERPROOFING OF WET AREAS IN RESIDENTIAL BUILDINGS •AS 3959 -CONSTRUCTION IN A BUSHFIRE PRONE AREA •AS 3786 -SMOKE ALARMS •AS 4100 -STEEL STRUCTURES	

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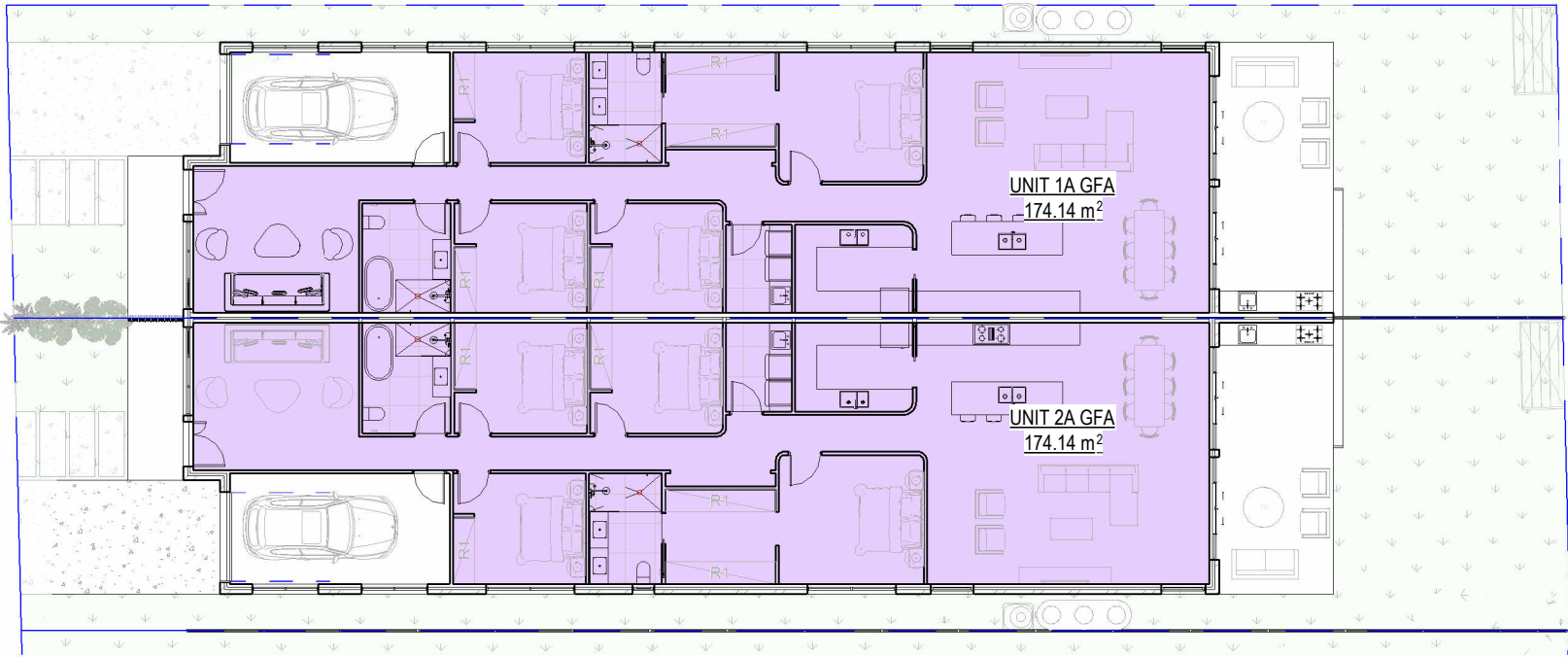




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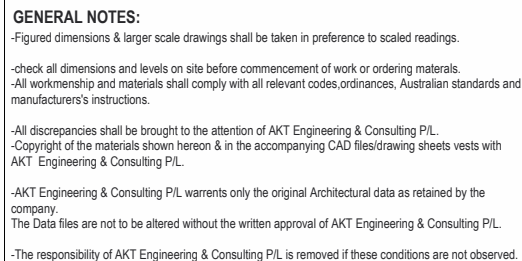
 AKT ENGINEERING & CONSULTING DESIGN • APPROVE • BUILD bdaa ACCREDITED BUILDING DESIGNER	GENERAL NOTES: -Figured dimensions & larger scale drawings shall be taken in preference to scaled readings. -check all dimensions and levels on site before commencement of work or ordering materials. -All workmanship and materials shall comply with all relevant codes,ordinances, Australian standards and manufacturers's instructions. -All discrepancies shall be brought to the attention of AKT Engineering & Consulting P/L. -Copyright of the materials shown hereon & in the accompanying CAD files/drawing sheets vests with AKT Engineering & Consulting P/L. -AKT Engineering & Consulting P/L warrants only the original Architectural data as retained by the company. The Data files are not to be altered without the written approval of AKT Engineering & Consulting P/L. -The responsibility of AKT Engineering & Consulting P/L is removed if these conditions are not observed.	<table><tr><th>ISSUE</th><th>AMENDMENT</th><th>DATE</th></tr><tr><td>A</td><td>CLIENT ISSUE</td><td>26/06/2024</td></tr><tr><td> </td><td> </td><td> </td></tr><tr><td> </td><td> </td><td> </td></tr><tr><td> </td><td> </td><td> </td></tr><tr><td> </td><td> </td><td> </td></tr><tr><td> </td><td> </td><td> </td></tr><tr><td> </td><td> </td><td> </td></tr><tr><td> </td><td> </td><td> </td></tr><tr><td> </td><td> </td><td> </td></tr></table>	ISSUE	AMENDMENT	DATE	A	CLIENT ISSUE	26/06/2024																									<table><tr><td>PROPOSED TWO ATTACHED DUAL OCCUPANCY</td><td colspan="3">NOTIFICATION PLAN</td></tr><tr><td rowspan="4">GOULBURN MULWAREE COUNCIL 17 WOLLONDILLY AVE, GOULBURN, NSW 2580 DA SUBMISSION DESIGNED BY: NM</td><td>PROJECT NUMBER</td><td>-----</td><td rowspan="2">DA.04</td></tr><tr><td>DATE</td><td>01/07/2025</td></tr><tr><td>CHECKED BY</td><td>AE</td><td>ISSUE:</td><td>A</td></tr><tr><td>DRAWN BY</td><td>NM</td><td>SCALE</td><td>As indicated</td></tr></table>	PROPOSED TWO ATTACHED DUAL OCCUPANCY	NOTIFICATION PLAN			GOULBURN MULWAREE COUNCIL 17 WOLLONDILLY AVE, GOULBURN, NSW 2580 DA SUBMISSION DESIGNED BY: NM	PROJECT NUMBER	-----	DA.04	DATE	01/07/2025	CHECKED BY	AE	ISSUE:	A	DRAWN BY	NM	SCALE	As indicated	
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MAX. GROSS FLOOR AREA REQUIRED	%50 OF LOT AREA
	LOT (1A) 0.50 X 358.00 m² = 179.00 m² LOT (2A) 0.50 X 358.00 m² = 179.00 m²
PROPOSED GROSS FLOOR AREA	LOT (1A) GFA = 174.14 m² LOT (2A) GFA = 174.14 m²

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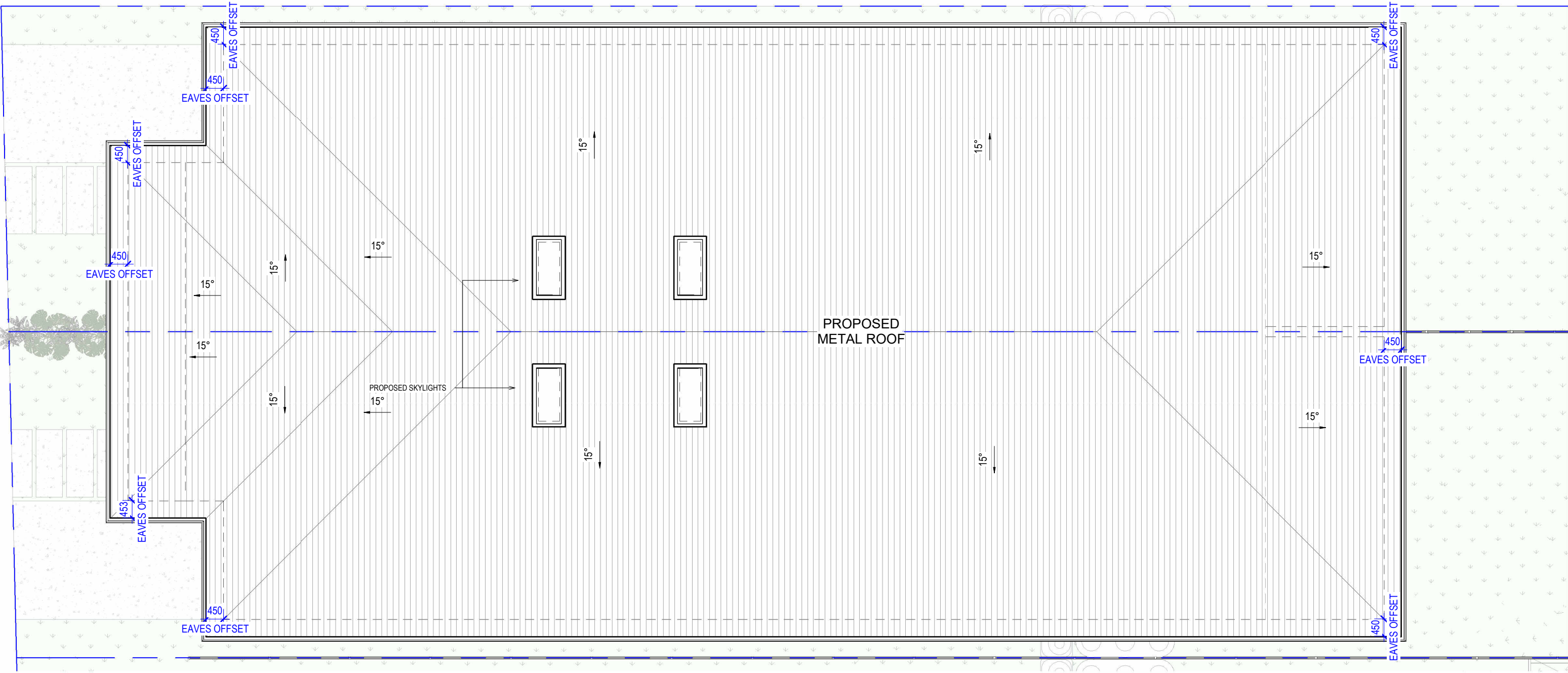
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1 ROOF PLAN - UNITS A

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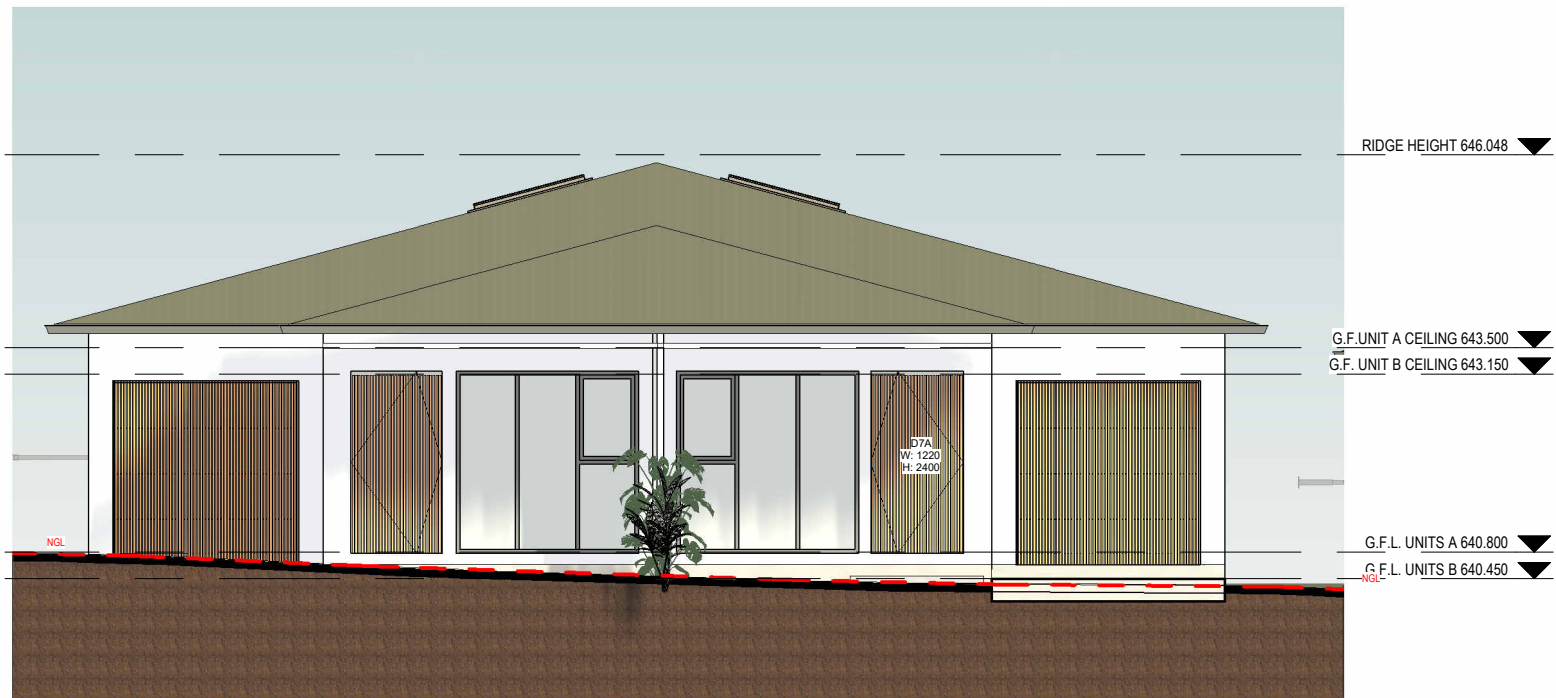
ISSUE	AMENDMENT	DATE
A	CLIENT ISSUE	26/06/2024

PROPOSED TWO ATTACHED DUAL OCCUPANCY	
GOULBURN MULWAREE COUNCIL	
17 WOLLONDILLY AVE, GOULBURN, NSW 2580	
DA SUBMISSION	
DESIGNED BY:	NM

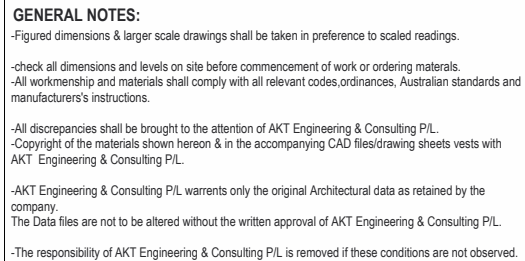
ROOF PLAN			
PROJECT NUMBER	-----	DA.08	
DATE	01/07/2025		
CHECKED BY	AE	ISSUE:	A
DRAWN BY	NM	SCALE	1 : 100



1 : 100



1 : 100

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GOULBURN MULWAREE COUNCIL

17 WOLLONDILLY AVE, GOULBURN, NSW 2580

DA SUBMISSION

DESIGNED BY: NM

SOUTHERN ELEVATIONS (FRONT)

PROJECT NUMBER

DA.09

DATE

01/07/2025

DATE TIME LOCATION TESTER TESTED BY CHECKED BY TESTED BY CHECKED BY

AE

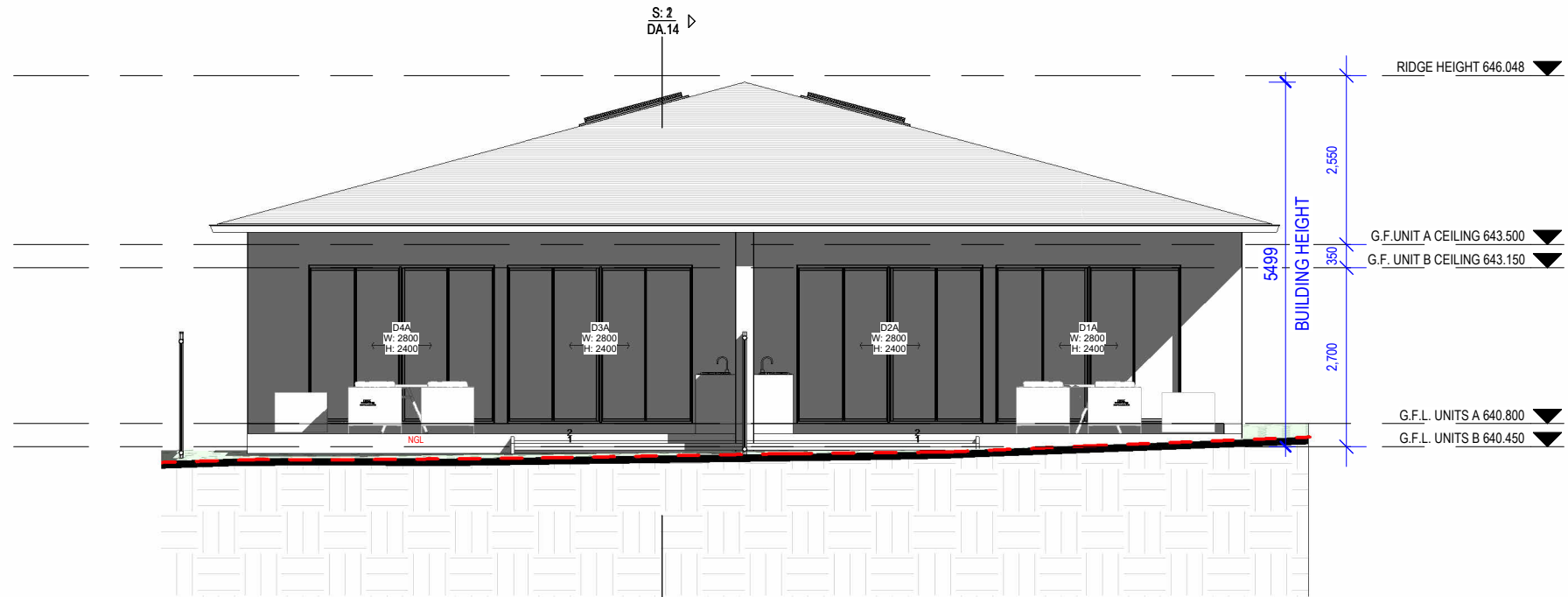
DRAWN BY

NM

SCALE

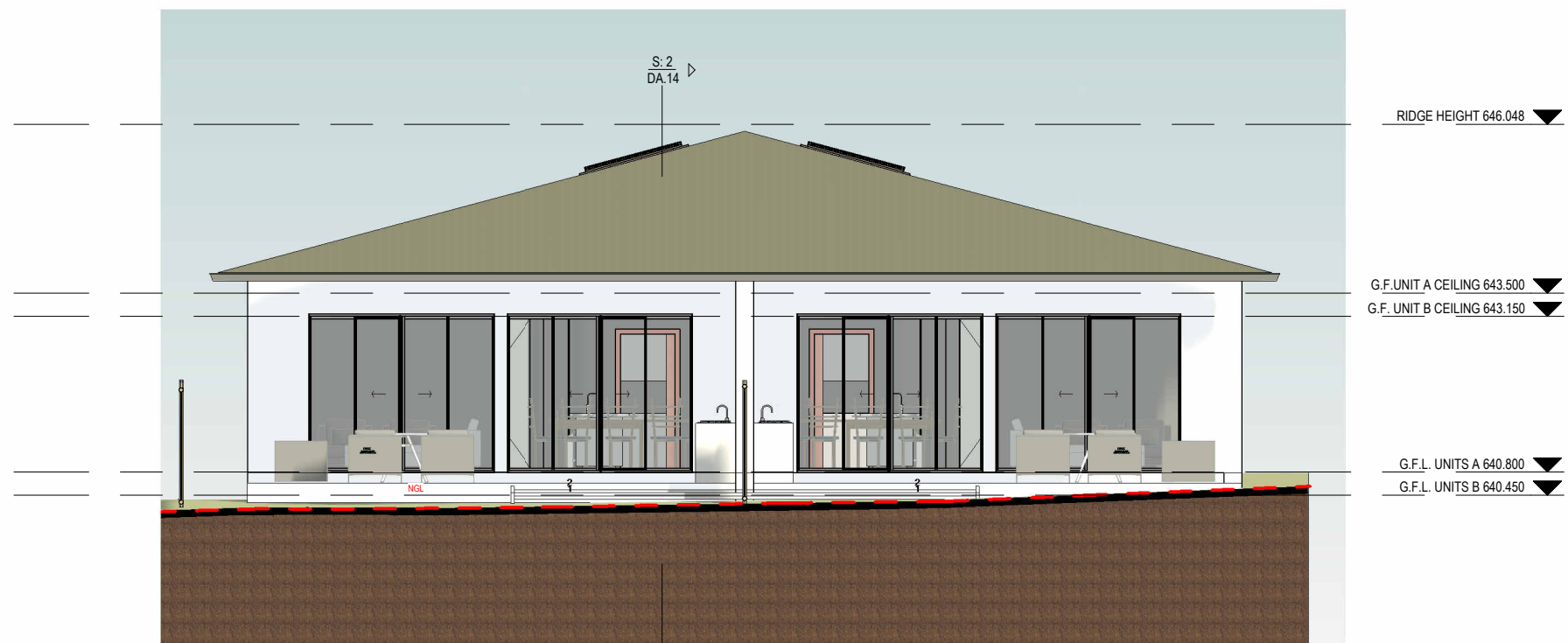
1 : 100





1 NORTHERN ELEVATION

1 : 100



2 NORTHERN ELEVATION - RENDERED

1 : 100

GENERAL NOTES:

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- check all dimensions and levels on site before commencement of work or ordering materials.
- All ownership and materials shall comply with all relevant codes, ordinances, Australian standards and manufacturer's instructions.
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[illegible]

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OCCUPANCY**

GOULBURN MULWAREE COUNCIL

17 WOLLONDILLY AVE, GOULBURN, NSW 2580

DA SUBMISSION

DESIGNED BY: NM

NORTHERN ELEVATIONS (REAR)

PROJECT NUMBER

DA.10

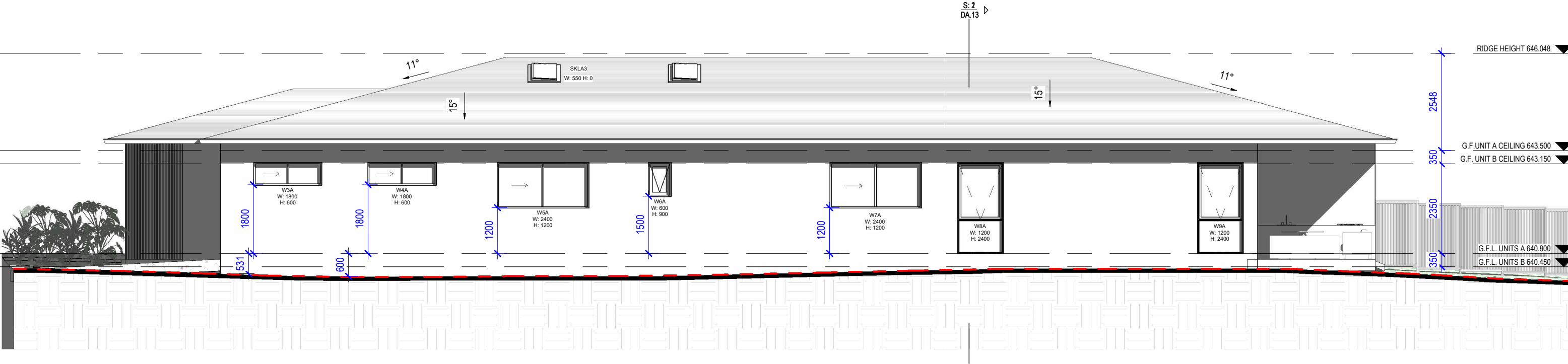
DATE	01/07/2025
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ISSUE: **A**

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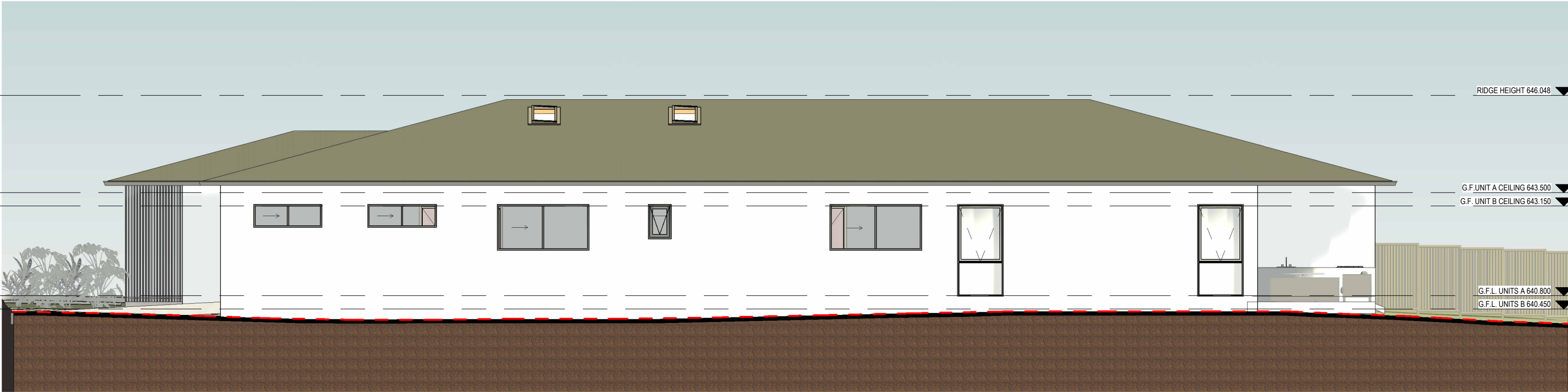
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1 EASTERN ELEVATION - UNITS A

1 : 100



2 EASTERN ELEVATION - UNITS A RENDERED

1 : 100



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A	CLIENT ISSUE	26/06/2024

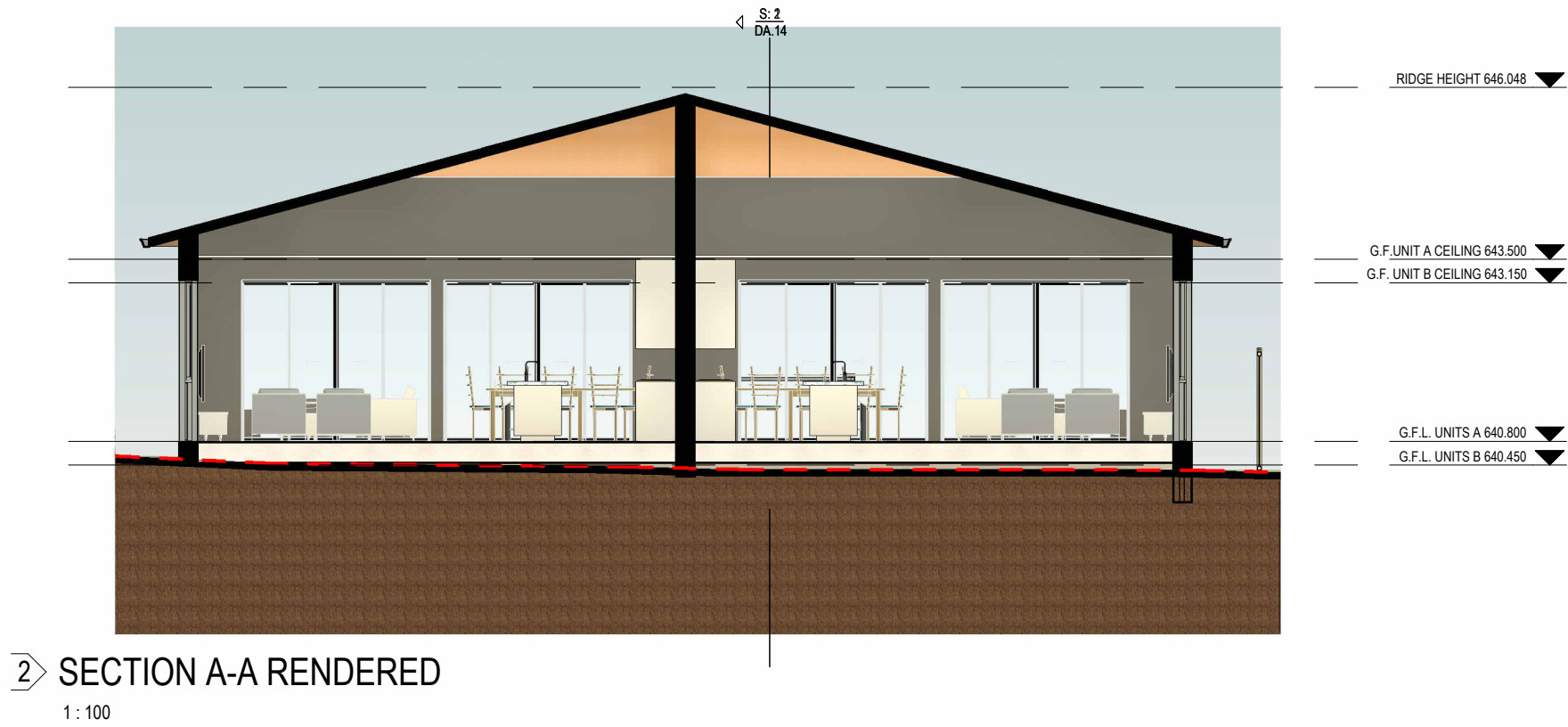
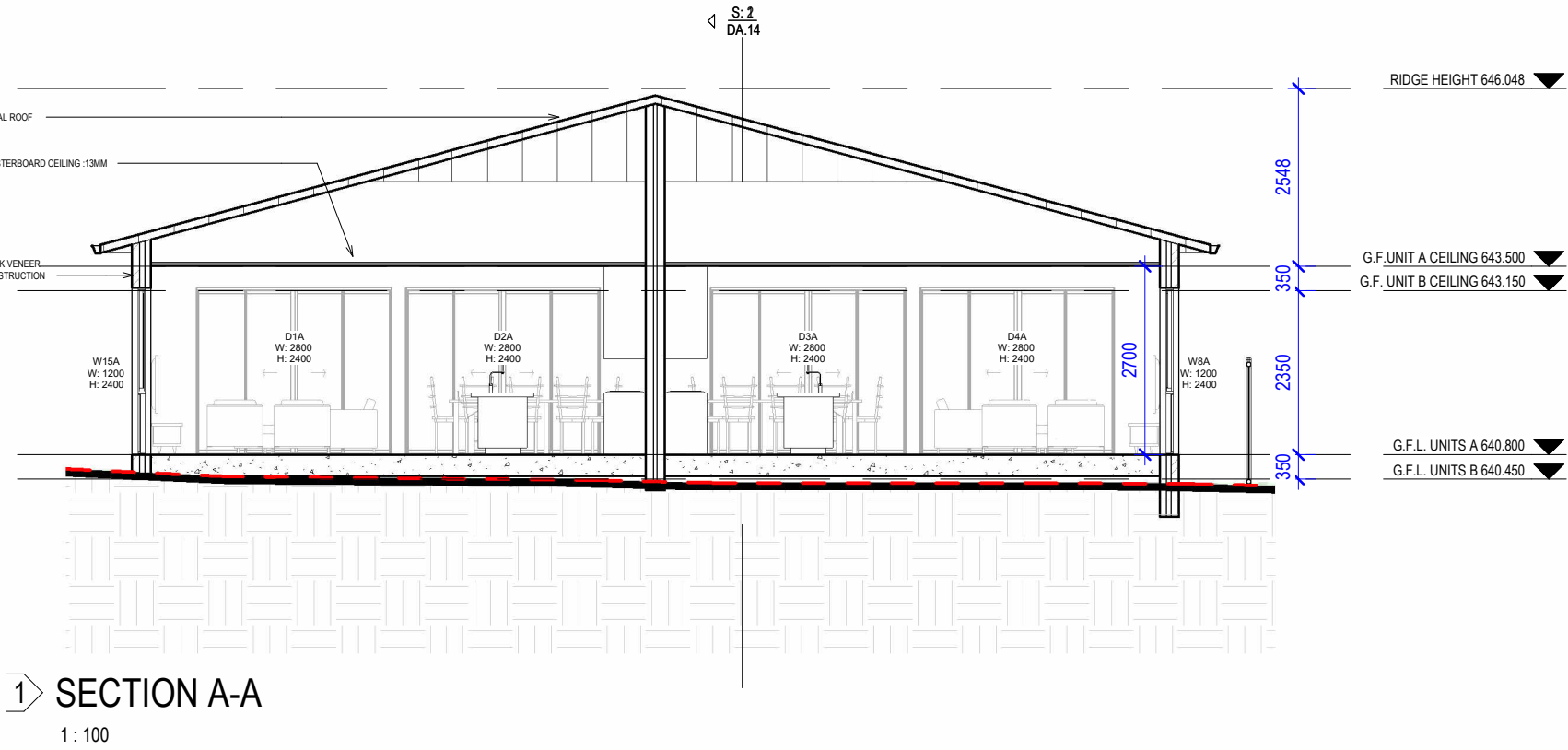
PROPOSED TWO ATTACHED DUAL OCCUPANCY	
GOULBURN MULWAREE COUNCIL	
17 WOLLONDILLY AVE, GOULBURN, NSW 2580	
DA SUBMISSION	
DESIGNED BY:	NM

EASTERN ELEVATIONS			
PROJECT NUMBER		DA.11	
DATE		01/07/2025	
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DRAWN BY	NM	SCALE	1 : 100





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		-Figured dimensions & larger scale drawings shall be taken in preference to scaled readings.	A	CLIENT ISSUE	26/06/2024		PROJECT NUMBER	-----	DA.12	
		-check all dimensions and levels on site before commencement of work or ordering materials. -All workmanship and materials shall comply with all relevant codes, ordinances, Australian standards and manufacturer's instructions.					DATE	01/07/2025		
		-All discrepancies shall be brought to the attention of AKT Engineering & Consulting P/L. -Copyright of the materials shown hereon & in the accompanying CAD files/drawing sheets vests with AKT Engineering & Consulting P/L.					CHECKED BY	AE	ISSUE: A	
		-AKT Engineering & Consulting P/L warrants only the original Architectural data as retained by the company. The Data files are not to be altered without the written approval of AKT Engineering & Consulting P/L.					DRAWN BY	NM	SCALE 1 : 100	
		-The responsibility of AKT Engineering & Consulting P/L is removed if these conditions are not observed.								



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bdac
ACCREDITED
BUILDING DESIGNER

GENERAL NOTES:

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PROPOSED TWO ATTACHED DUAL OCCUPANCY
GOULBURN MULWAREE COUNCIL
17 WOLLONDILLY AVE, GOULBURN, NSW 2580
DA SUBMISSION
DESIGNED BY: NM

PROJECT NUMBER		DA.13
01/07/2025		
CHECKED BY	AE	ISSUE: A
DRAWN BY	NM	SCALE 1 : 100

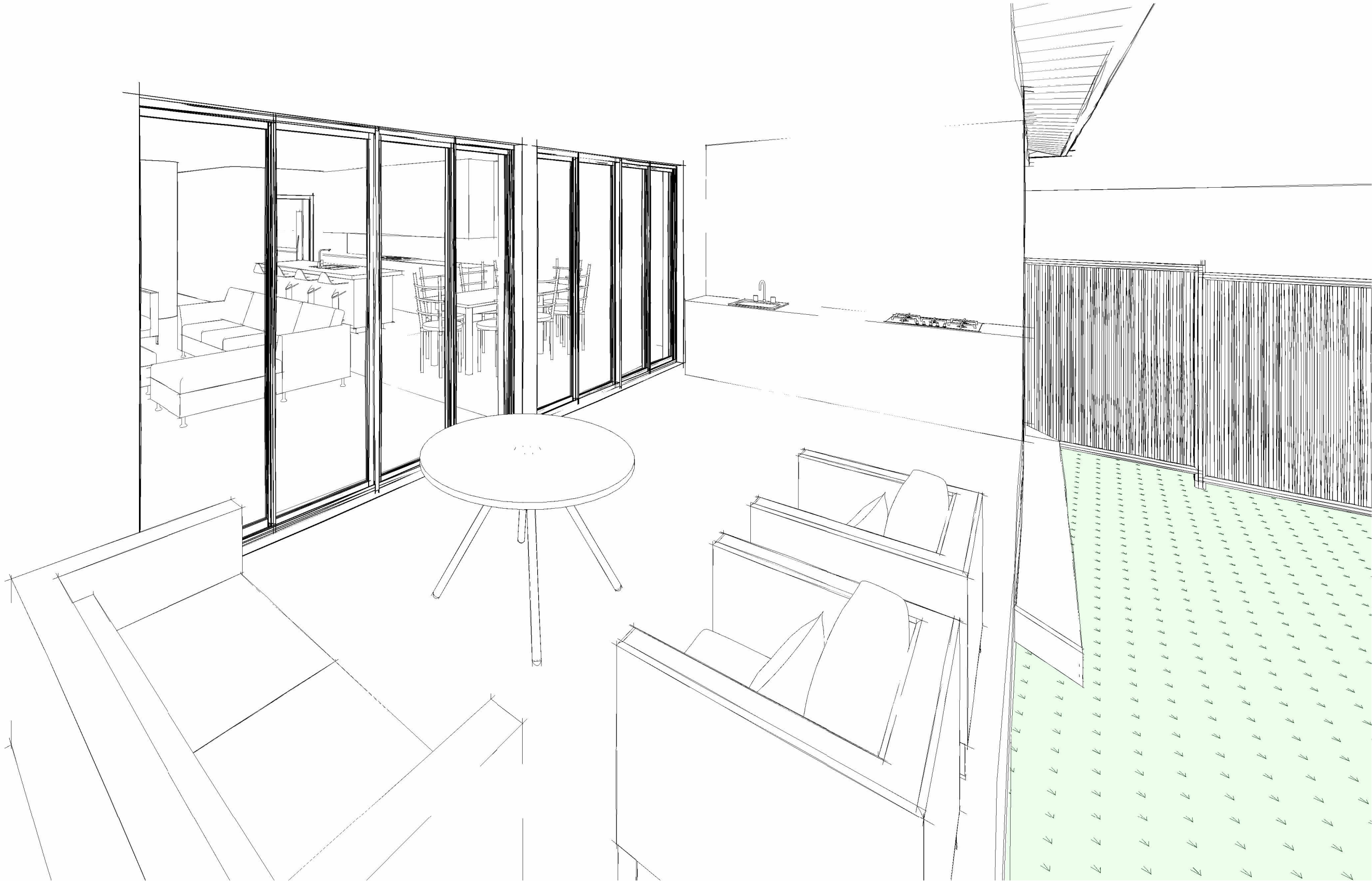


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bdaa
ACCREDITED
BUILDING DESIGNER

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1 ALFRESCO

ISSUE	AMENDMENT	DATE
A	CLIENT ISSUE	26/06/2024

PROPOSED TWO ATTACHED DUAL OCCUPANCY
GOULBURN MULWAREE COUNCIL
17 WOLLONDILLY AVE, GOULBURN, NSW 2580
DA SUBMISSION
DESIGNED BY: NM

INTERIOR VIEWS 2

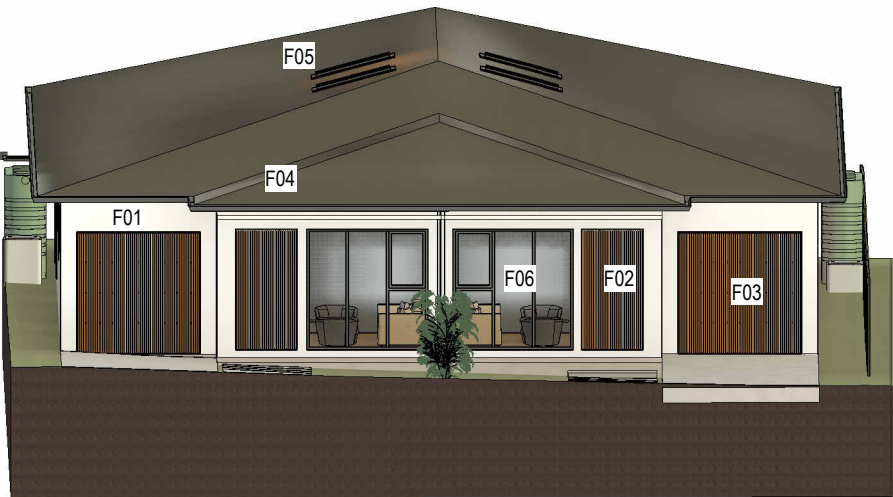
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DATE	01/07/2025	
CHECKED BY	AE	ISSUE: A
DRAWN BY	NM	SCALE

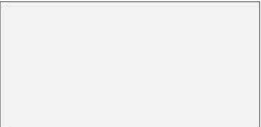
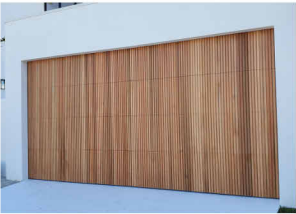


[illegible]

Door Schedule			
Mark	Width	Height	Count
D1A	2800	2400	1
D2A	2800	2400	1
D3A	2800	2400	1
D4A	2800	2400	1
D5A	2400	2400	1
D6A	1220	2400	1
D7A	1220	2400	1
D8A	2400	2400	1
D9A	910	2340	1
D10A	910	2340	1
D11A	820	2120	1
D12A	910	2340	1
D13A	820	2120	1
D14A	910	2340	1
D15A	910	2340	1
D16A	910	2340	1
D17A	910	2340	1
D18A	910	2340	1
D19A	910	2340	1
D20A	910	2340	1
D21A	910	2340	1
D22A	820	2120	1
D23A	910	2340	1
D24A	910	2340	1
D25A	910	2340	1
D26A	820	2120	1

Window Schedule				
Mark	Width	Height	Count	Comments
SKLA1	550	0	1	SKYLIGHT
SKLA2	550	0	1	SKYLIGHT
SKLA3	550	0	1	SKYLIGHT
SKLA4	550	0	1	SKYLIGHT
W1A	2400	2400	1	
W2A	2400	2400	1	
W3A	1800	600	1	
W4A	1800	600	1	
W5A	2400	1200	1	
W6A	600	900	1	
W7A	2400	1200	1	
W8A	1200	2400	1	
W9A	1200	2400	1	
W10A	1800	600	1	
W11A	1800	600	1	
W12A	2400	1200	1	
W13A	600	900	1	
W14A	2400	1200	1	
W15A	1200	2400	1	
W16A	1200	2400	1	

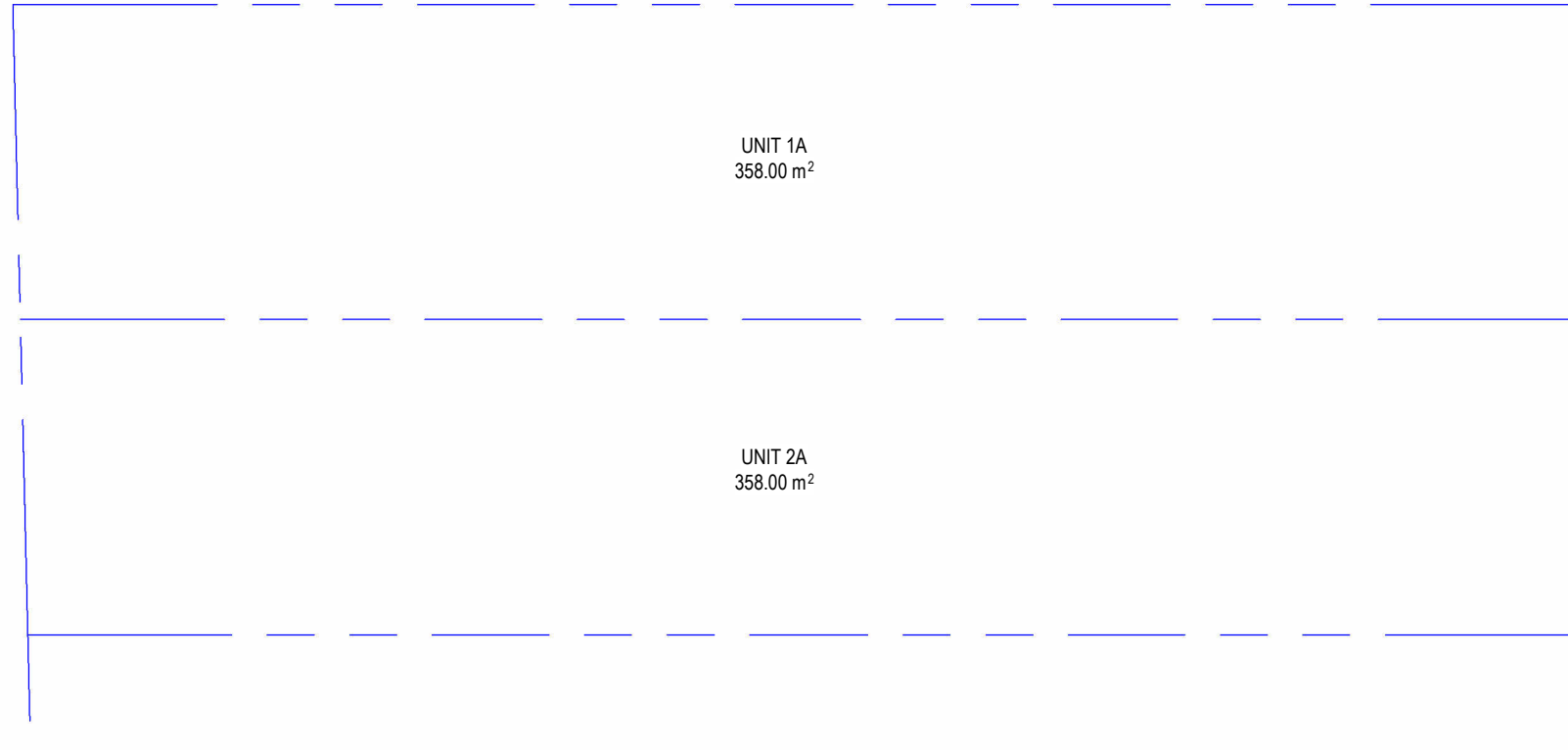


F01		RENDER AND PAINTED WALL FINISH DELUXE VIIVID WHITE OR SIMILAR
F02		TIMBER FRONT DOOR
F03		ROLL UP TIMBER LOOK ALUMINIUM GARAGE DOOR
F04		4- COLORBOND ROOF (MONUMENT GREY)
F05		5- MONUMENT GREY ALUMINIUM SKY LIGHT
F06		POWDERCOATED ALUMINIUM DOOR AND WINDOW FRAMES MONUMENT GREY OR SIMILAR

ISSUE	AMENDMENT	DATE
A	CLIENT ISSUE	26/06/2024

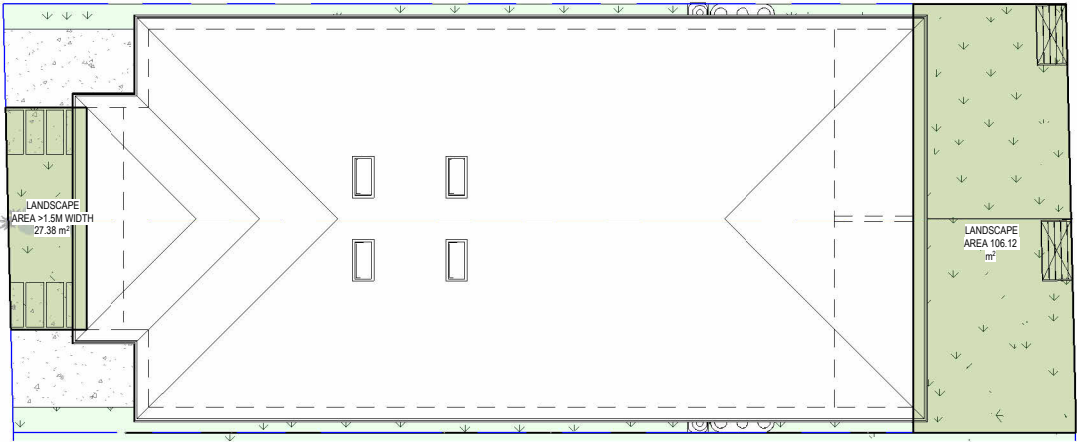
PROPOSED TWO ATTACHED DUAL OCCUPANCY		SCHEDULE OF FINISHES		
GOULBURN MULWAREE COUNCIL		PROJECT NUMBER	-----	DA.19
17 WOLLONDILLY AVE, GOULBURN, NSW 2580		DATE	01/07/2025	
DA SUBMISSION		CHECKED BY	AE	ISSUE: A
DESIGNED BY: NM		DRAWN BY	NM	SCALE





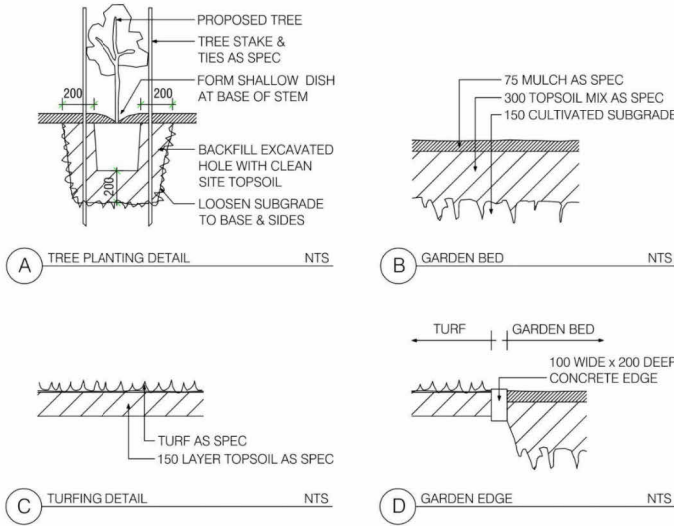
1 : 200

 ENGINEERING & CONSULTING DESIGN • APPROVE • BUILD	 ACCREDITED BUILDING DESIGNER	GENERAL NOTES:			PROPOSED TWO ATTACHED DUAL OCCUPANCY GOULBURN MULWAREE COUNCIL 17 WOLLONDILLY AVE, GOULBURN, NSW 2580 DA SUBMISSION DESIGNED BY: NM	SUBDIVISION PLAN			
		-Figured dimensions & larger scale drawings shall be taken in preference to scaled readings.				PROJECT NUMBER	-----	DA.20	
		-check all dimensions and levels on site before commencement of work or ordering materials. -All workmanship and materials shall comply with all relevant codes, ordinances, Australian standards and manufacturers's instructions.				DATE	01/07/2025		
		-All discrepancies shall be brought to the attention of AKT Engineering & Consulting P/L. -Copyright of the materials shown hereon & in the accompanying CAD files/drawing sheets vests with AKT Engineering & Consulting P/L.				CHECKED BY	AE	ISSUE: A	
		-AKT Engineering & Consulting P/L warrants only the original Architectural data as retained by the company. The Data files are not to be altered without the written approval of AKT Engineering & Consulting P/L.				DRAWN BY	NM	SCALE 1 : 200	
		-The responsibility of AKT Engineering & Consulting P/L is removed if these conditions are not observed.							



1 LANDSCAPE PLAN

1 : 300



NOTES AND SPECIFICATIONS

EXCAVATIONS
Prior to carrying out any excavations, the contractor is to confirm the locations of all services. Service pits and lids a not to be covered by any materials. Trim and grade area to form a smooth even finish.

GARDEN BED / MULCH
The topsoil to all garden bed areas shall be four (4) parts site topsoil to one (1) part organic compost thorough blended together prior to placing into position. Where the site topsoil is considered not suitable, an imported topsoil blend meeting the requirements of AS4419-1998 shall be used. Garden bed subgrades are to be cultivated to a depth of 150mm. Topsoil depths to all garden bed areas in deep soil to be 300mm (min). At the completion of all planting operations apply a 75mm layer of mulch over entire garden bed taking care not to smother plants. Reduce depth of mulch around base of plants to form "watering dish". Mulch used shall be Pine Bark Nuggets as supplied by ANL or similar. All proposed planting is subject to suitable topsoil depths on site. Where there is insufficient depth due to presence of bedrock or other structures, the proposed planting is to be modified to suit in accordance with instruction from landscape architect.

TURF / GARDEN EDGING
Turf used for this site shall be Sir Walter Buffalo or similar soft leaf variety. Unless specified otherwise, turf shall be laid over 150mm topsoil and finished flush with adjacent surfaces. Water turfed areas immediately after turfing operations. Topdress any excessively undulating areas to form a smooth level surface with a coarse grade washed river sand. All garden edging as denoted by 'GE' on the plan is to be constructed as per detail.

PLANT MATERIAL
The plants are to be healthy nursery stock, free from disease, injury, insects all weed or roots of weeds. All plants are to be thoroughly soaked prior to planting. All plants delivered for use on site shall be fully acclimatized to prevailing local Sydney conditions.

EXISTING TREES TO BE RETAINED
The existing trees indicated for retention shall be protected for the duration of the construction period. Install a 1.8m high temporary protective fence (TPF) to the locations as indicated on the plan. Do not store or otherwise place bulk or harmful materials under or near a tree which is to be retained. Do not attach stay guys and the like to a tree which is to be retained. Where it is absolutely necessary to prune tree roots / limit contractor to ensure all Council approvals have been obtained. All tree work is to be carried out by a qualified and insured arborist. Where an arborist report has been prepared for the existing tree on site, the landscape plan shall be read in conjunction with this report. All trees identified for retention shall be protected and managed in accordance with recommendations of this report. These recommendations will take precedence over any measures outlined in the landscape plan.

MAINTENANCE / ON GOING CARE
Maintain all landscape areas to ensure plant health and occupant safety for period of 12 months beginning from date of practical completion to the satisfaction of Council. Maintenance will include but is not limited to the following activities: Mowing and edging lawn areas, fertilizing all plant material, pruning, watering, replacing failed plants, treating for pests and diseases, topping up of mulch areas and weeding garden beds as required. On completion of the initial 12 month period, all maintenance responsibilities shall be handed over to building management / property owner for on-going care. Note: All trees will require ongoing annual observation and maintenance by qualified arborist to ensure occupant safety, tree health and to avoid damage to surrounding structures and property.

DISCREPANCIES
Should there be any discrepancies on the drawings with existing site conditions, contractor is to notify the landscape architect prior to proceeding with the works

SURFACE TREATMENT LEGEND	
STF	Synthetic Turf
TF	Turf
GE	Garden Edge (to detail)
CL	Clothes Lines (to client requirements)
CB/TP	Colorbond / Timber Paling (1.8 high)
T	Tile (to client requirements)
RWT	Rainwater Tank (to Engineers Specifications)
PV	Pavers
PP	Water Permeable Unit Paver
SC	Stenciled Concrete (Charcoal/gunmetal)
DGR	Decomposed Granite finish
TPF	Temporary Protection Fence (1.8m chainmesh)
GVL	Gravel Surface / Path (Nepean River Pebble)
TD	Timber Deck
CP	Concrete Path
B	Bench Seat
BT	Table Bench Seating

LANDSCAPED AREA CALCULATION		
	Site Area	Proposed Area
LOT A	716.00 m²	133.50 m²



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PROPOSED TWO ATTACHED DUAL OCCUPANCY

GOULBURN MULWAREE COUNCIL

17 WOLLONDILLY AVE, GOULBURN, NSW 2580

DA SUBMISSION

DESIGNED BY: NM

LANDSCAPE PLAN

PROJECT NUMBER	-----	DA.21	
DATE	01/07/2025		
CHECKED BY	AE	ISSUE: A	
DRAWN BY	NM	SCALE: As indicated	